

WESTFORD RIDING ACADEMY

22 GRIFFIN ROAD
WESTFORD, MA 01886

SITE NUMBER: 4BN-1331B

SITE TYPE: RAWLAND / MONOPOLE

T-MOBILE NORTHEAST LLC
A DELAWARE LIMITED
LIABILITY COMPANY

15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893



APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: 4BN-1331B

DRAWN BY: JG

CHECKED BY: DC

SUBMITTALS

NO.	DATE	DESCRIPTION
2	03/15/11	ZONING REVISED
1	01/07/10	ZONING REVISED
0	08/21/09	ZONING

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4BN-1331B
WESTFORD RIDING
ACADEMY
22 GRIFFIN ROAD
WESTFORD, MA 01886

SHEET TITLE

TITLE SHEET

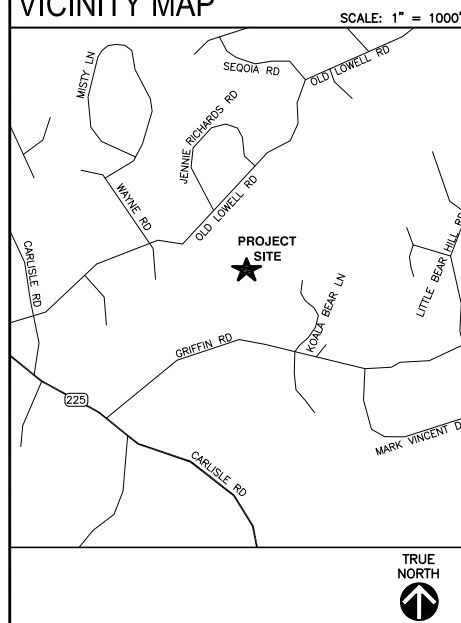
SHEET NUMBER

T-1

GENERAL NOTES

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE PROJECT OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL DIG-SAFE AT 1-888-DIG SAFE (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
- PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER'S IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.

VICINITY MAP



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	2
C-1	SURVEY PLAN	2
Z-1	SITE PLAN AND NOTES	2
Z-2	PLAN & ELEVATION	2
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PROJECT SUMMARY

SITE NUMBER: 4BN-1331B
SITE NAME: WESTFORD RIDING ACADEMY
SITE ADDRESS: 22 GRIFFIN ROAD WESTFORD, MA 01886
ASSESSOR'S MAP & LOT #: MAP: 13 LOT: 17
ZONING DISTRICT: RESIDENCE A
DEED BOOK/PAGE: 2634/032
CONSTRUCTION TYPE: RAWLAND / MONOPOLE
PROPERTY OWNER: RICHARD G GAMESTER, II 22 GRIFFIN ROAD WESTFORD, MA 01886
APPLICANT: T-MOBILE NORTHEAST LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766

ZONING INFORMATION	
DISTRICT:	RESIDENCE A
MIN. LOT SIZE (SF.):	40,000
MIN. LOT FRONTAGE (FT):	200
MIN. FRONT YARD (FT):	50
MIN. SIDE YARD (FT):	15
MIN. REAR YARD (FT):	30
MAX. BUILDING HT. (FT):	35
MAX. BUILDING HT. (STORIES):	2.5

LEGEND	
13-1-1	ASSASSOR'S MAP/BLOCK/LOT
AMSL	ABOVE MEAN SEA LEVEL DATUM
OHW	OVERHEAD WIRES
⊕	STAKE SET
⊕	UTILITY POLE
⊕	CATCH BASIN
⊕	LIGHT POLE
⊕	HYDRANT
⊕	ACCESS EASEMENT
⊕	UTILITY EASEMENT

GENERAL NOTES	
1. FIELD SURVEY DATE:	AUGUST 12, 2009
2. VERTICAL DATUM:	NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
3. HORIZONTAL DATUM:	NORTH AMERICAN DATUM OF 1983 (NAD83)
4. CENTER OF EXISTING:	LATTICE TOWER LATITUDE: 42°33'05.61" LONGITUDE: 71°24'32.17" GROUND EL.: 211' (AMSL)
5. OWNER:	RICHARD G. GAMESTER II
6. SITE NAME:	WESTFORD RIDING ACADEMY
7. SITE NUMBER:	4BN1331B
8. SITE ADDRESS:	21 GRIFFIN ROAD WESTFORD, MA 01886
9. APPLICANT:	T-MOBILE NORTHEAST LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766
10. JURISDICTION:	TOWN OF WESTFORD MIDDLESEX REGISTRY, MA
11. TAX ID:	MAP 13 LOT 17
12. DEED REFERENCE:	BOOK 2634 PAGE 32
13. PLAN REFERENCE:	PLAN BOOK 85 PAGE 34-B
14. THE HORIZONTAL DATUM AND VERTICAL DATUM WERE DERIVED FROM STATIC SINGLE FREQUENCY GPS SURVEY POINTS USING CORS GPS REFERENCE STATION *WOBURN COOP CORS* AS CONTROL.	
15. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.	
16. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY ARE LOCATED IN AN AREA DESIGNATED AS ZONE X UNSHADED AREAS OF MINIMAL FLOODING. COMMUNITY PANEL NO. 250225 0012 B EFFECTIVE DATE: JUNE 15, 1983	
17. BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH.	
18. FIELD SURVEY BY EDM TOTAL STATION.	
19. PLAN REFERENCES: PLAN BOOK 117 PAGE 89; PLAN BOOK 82 PAGE 56B PLAN BOOK 139 PAGE 134; PLAN BOOK 118 PAGE 31 PLAN BOOK 161 PAGE 79; PLAN BOOK 169 PAGE 7	
20. WETLANDS SHOWN ARE AS DELINEATED BY ALEC MACLEOD, ENVIRONMENTAL SCIENTIST ON AUGUST 10, 2009. REFER TO SITE INVESTIGATION AND RESOURCE AREA DELINEATION REPORT PREPARED BY ALEC MACLEOD, DATED AUGUST 11, 2009.	
21. THIS IS NOT A BOUNDARY SURVEY.	
22. ABUTTING PROPERTY LINES, ABUTTING STREET LINES AND ABUTTING BUILDING LOCATIONS ARE COMPILED FROM THE REFERENCE PLAN, THE TOWN OF WESTFORD ASSESSORS' MAPS AND ARE APPROXIMATE ONLY.	
23. PROPERTY LINES, STREET LINES AND SOME BUILDING LOCATIONS ARE AS TAKEN FROM THE REFERENCE PLAN AND FROM THE TOWN OF WESTFORD ASSESSORS' MAPS AND ARE APPROXIMATE ONLY.	
24. PROPERTY LINES ARE BASED ENTIRELY UPON PLAN REFERENCED IN NOTE 13 AS ALLOWED BY 250CMR 6.02 (2)(d).	

ACCESS EASEMENT LEGAL DESCRIPTION	
BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID EASEMENT, SAID CORNER BEING S81°4'48"E A DISTANCE OF 87.93 FEET FROM A CAPPED IRON ROD AT A POINT IN THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY OF RICHARD G. GAMESTER II, THENCE;	
N 08°28'17" E A DISTANCE OF 25.03' THENCE; N 03°53'51" W A DISTANCE OF 142.30' THENCE; N 16°02'48" W A DISTANCE OF 27.61' THENCE; N 29°30'01" W A DISTANCE OF 212.13' THENCE; N 32°33'27" W A DISTANCE OF 60.23' THENCE; S 80°02'33" W A DISTANCE OF 106.86' THENCE; N 09°57'28" W A DISTANCE OF 10.00' THENCE; N 80°02'33" E A DISTANCE OF 20.00' THENCE; N 09°57'28" W A DISTANCE OF 15.00' THENCE; N 80°02'33" E A DISTANCE OF 15.00' THENCE; S 09°57'28" E A DISTANCE OF 10.00' THENCE; N 80°02'33" E A DISTANCE OF 88.89' THENCE; S 09°57'28" E A DISTANCE OF 16.86' THENCE; S 32°32'38" E A DISTANCE OF 52.61' THENCE; S 29°30'01" E A DISTANCE OF 214.06' THENCE; S 16°02'48" E A DISTANCE OF 30.98' THENCE; S 03°53'51" E A DISTANCE OF 145.53' THENCE; S 08°28'17" W A DISTANCE OF 28'± THENCE; N 76°49'58" W A DISTANCE OF 15.05'; TO THE POINT OF BEGINNING, HAVING AN AREA OF 8,962 SQUARE FEET.	

UTILITY EASEMENT LEGAL DESCRIPTION	
BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID EASEMENT, SAID CORNER BEING A CAPPED IRON ROD AT A POINT IN THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY OF RICHARD G. GAMESTER II, THENCE;	
N 33°51'23" W A DISTANCE OF 241.12' THENCE; N 09°57'28" W A DISTANCE OF 224.58' THENCE; N 80°02'33" E A DISTANCE OF 20.00' THENCE; S 09°57'27" E A DISTANCE OF 15.00' THENCE; S 80°02'33" W A DISTANCE OF 10.00' THENCE; S 09°57'28" E A DISTANCE OF 207.46' THENCE; S 33°51'23" E A DISTANCE OF 247'± THENCE; N 84°27'41" W A DISTANCE OF 13'±; TO THE POINT OF BEGINNING, HAVING AN AREA OF 4,827 SQUARE FEET.	

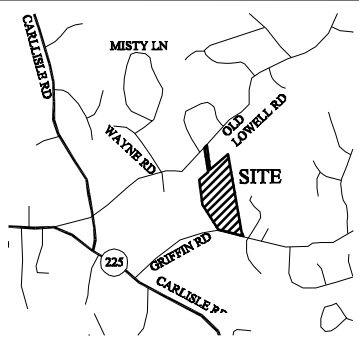
LEASE AREA LEGAL DESCRIPTION	
A CERTAIN LEASE AREA IN THE TOWN OF WESTFORD, MA, LYING NORTHERLY OF GRIFFIN ROAD, AND BEING BOUND AND DESCRIBED AS FOLLOWS:	
BEGINNING AT THE SOUTHWESTERLY CORNER OF THE PROPOSED LEASE PARCEL, SAID CORNER BEING N81°51'27"E A DISTANCE OF 98.58 FEET FROM AN IRON ROD FOUND AT THE WESTERLY CORNER OF LAND NOW OR FORMERLY OF RICHARD G. GAMESTER II, THENCE RUNNING;	
N 09°57'28" W A DISTANCE OF 75.00' THENCE; N 80°02'33" E A DISTANCE OF 75.00' THENCE; S 09°57'28" E A DISTANCE OF 75.00' THENCE; S 80°02'33" W A DISTANCE OF 75.00'; TO THE POINT OF BEGINNING, HAVING AN AREA OF 5,625 SQUARE FEET.	

LINE	BEARING	DISTANCE
L1	N08°28'17"E	25'±
L2	N03°53'51"W	142.30'
L3	S16°02'48"E	27.61'
L4	N29°30'01"W	212.13'
L5	N32°33'27"W	60.23'
L6	S80°02'33"W	106.86'
L7	N09°57'28"W	10.00'
L8	N80°02'33"E	20.00'
L9	N80°02'33"E	15.00'
L10	S09°57'28"E	10.00'
L11	N80°02'33"E	88.89'
L12	S09°57'28"E	16.86'
L13	S32°32'38"E	52.61'
L14	S29°30'01"E	214.06'
L15	S16°02'48"E	30.98'
L16	S03°53'51"E	145.53'
L17	S08°28'17"W	28'±
L18	S76°49'58"E	15'±
L19	N33°51'23"W	241.12'
L20	S09°57'28"E	224.58'
L21	N80°02'33"E	20.00'
L22	S09°57'27"E	15.00'
L23	S80°02'33"W	10.00'
L24	S09°57'28"E	207.46'
L25	S33°51'23"E	247'±
L26	N84°27'41"W	13'±

FAA 2C SURVEY CERTIFICATION	
I HEREBY CERTIFY THAT THE LATITUDE, LONGITUDE AND ELEVATIONS PRESENTED HEREON MEET THE REQUIREMENTS OF THE FAA WITH THE FOLLOWING ACCURACIES:	
± TWENTY (20) FEET VERTICALLY	
± FIFTY (50) FEET HORIZONTALLY	

DANIEL F. STASZ
No. 47160
REGISTERED PROFESSIONAL LAND SURVEYOR
COMMONWEALTH OF MASSACHUSETTS

DECEMBER 22, 2009
DATE



LOCUS
SCALE: 1"=2,000'

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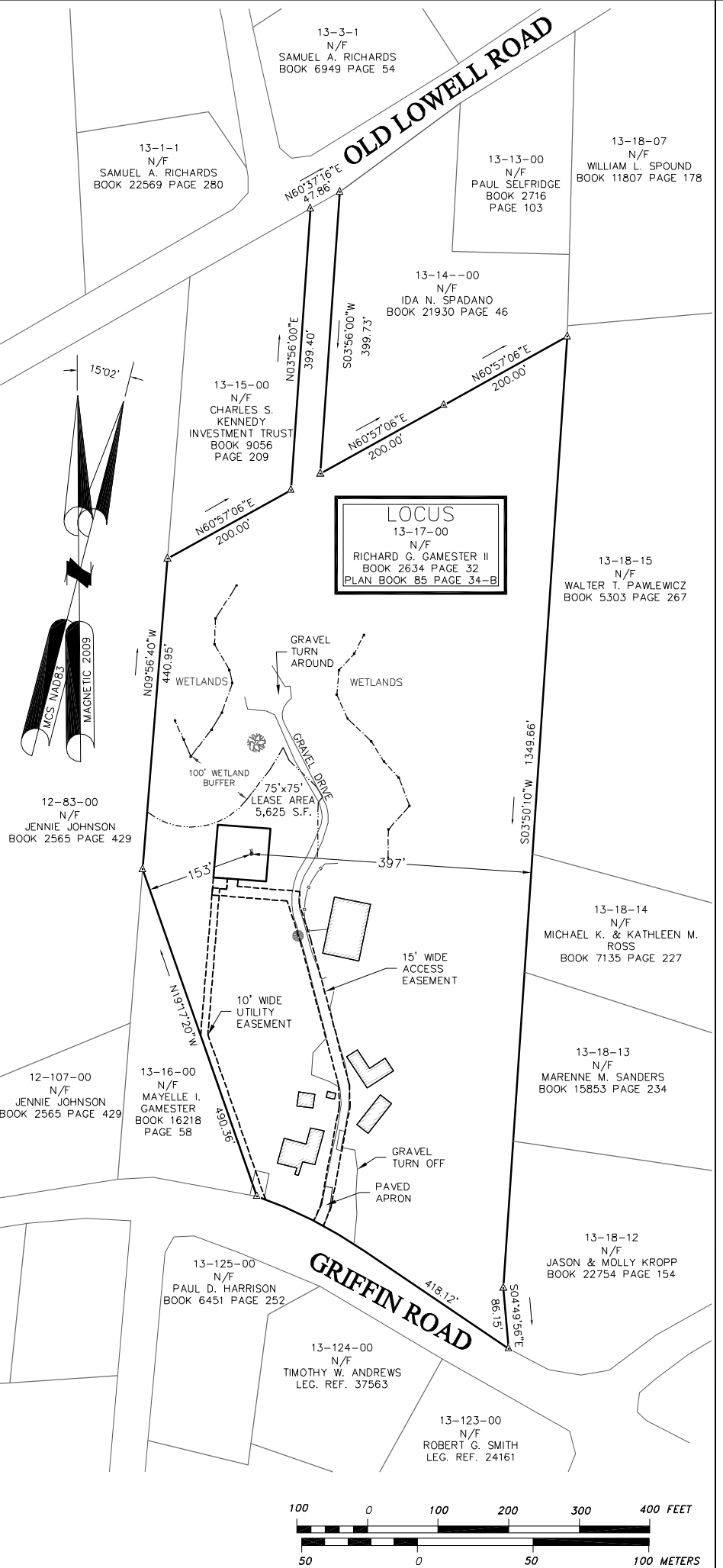
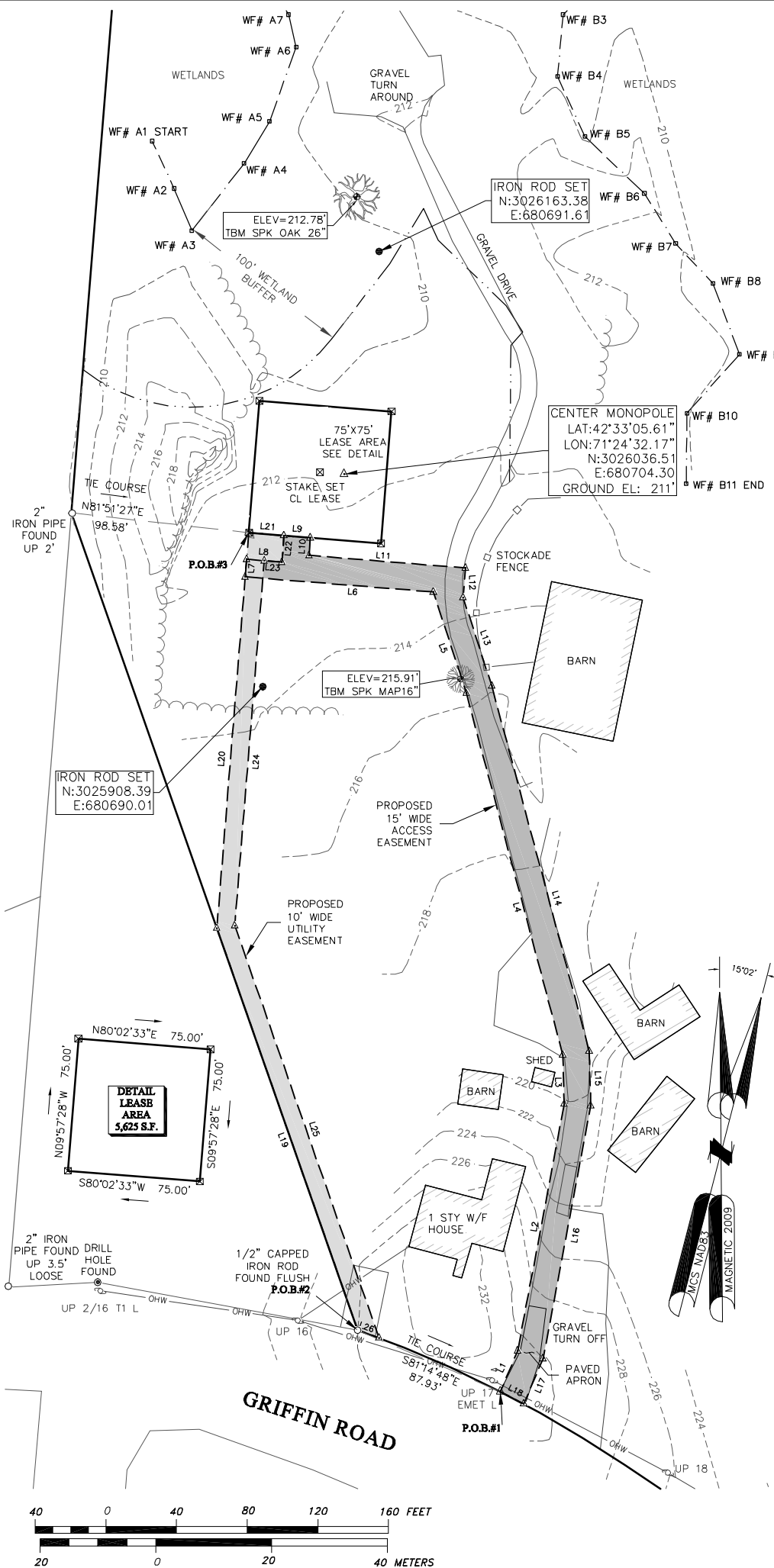
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A DELAWARE LIMITED LIABILITY COMPANY
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893

Hudson Design Group
1600 OSBORN STREET
BUILDING 20 NORTH, SUITE 2-101
NANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5584

NORTHEAST SURVEY CONSULTANTS
116 PLEASANT ST. SUITE 302
P.O. BOX 509
EASTHAMPTON, MA 01027
(413) 203-5144

APPROVALS	
LANDLORD	_____
LEASING	_____
R.F.	_____
ZONING	_____
CONSTRUCTION	_____
A/E	_____

PROJECT NO: 4BN-1331B
DRAWN BY: BCF(09-078)
CHECKED BY: DFS

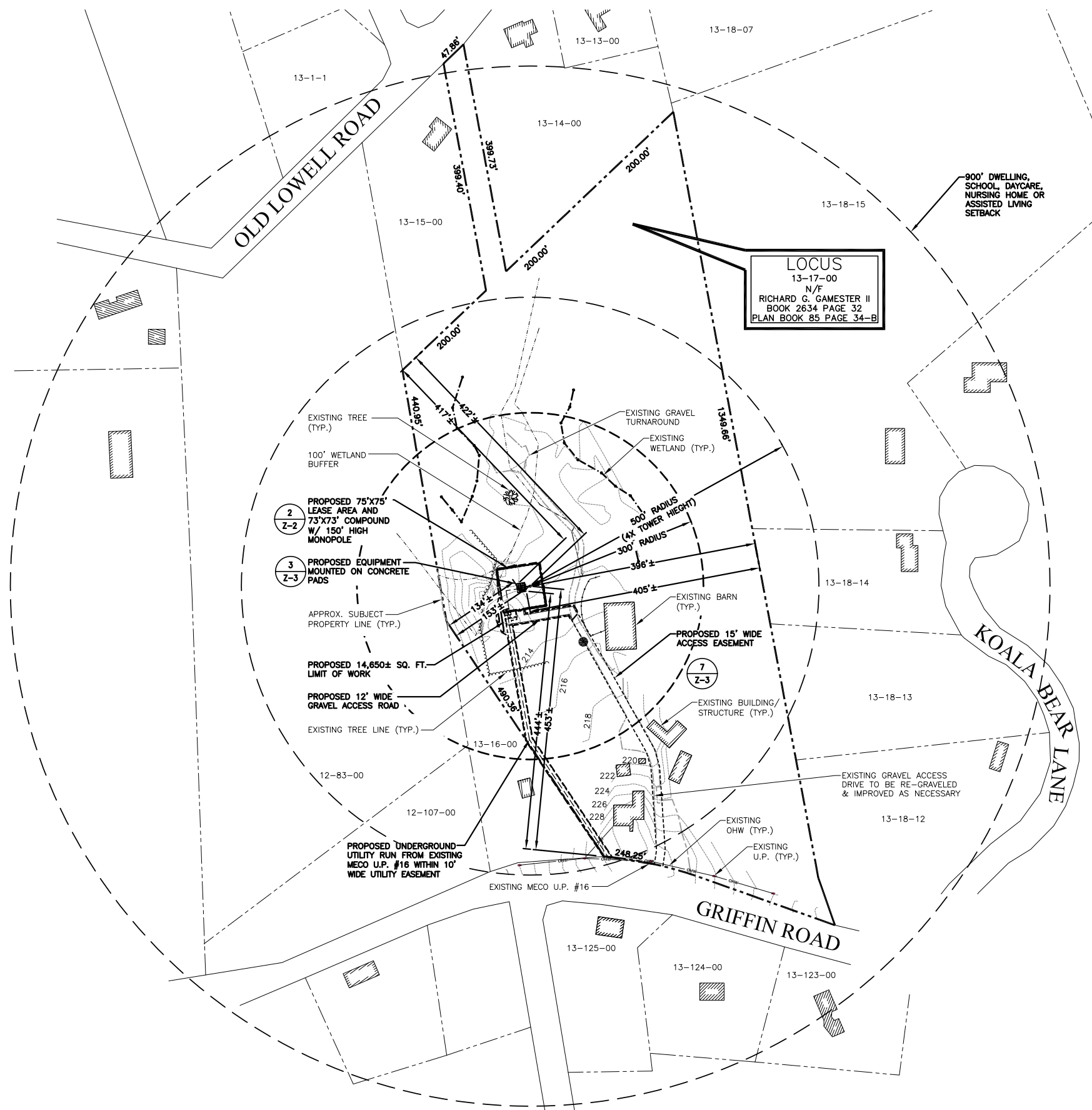
SUBMITTALS		
2	12/22/09	MOVE ACCESS, FIX TOPO
1	8/26/09	MOVE PROPOSED TOWER
0	8/21/09	ISSUED FOR REVIEW

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE NORTHEAST, L.L.C. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.

4BN-1331B
WESTFORD RIDING ACADEMY
21 GRIFFIN ROAD
WESTFORD, MA 01886

SURVEY PLAN

C-1



LOCUS
 13-17-00
 N/F
 RICHARD G. GAMESTER II
 BOOK 2634 PAGE 32
 PLAN BOOK 85 PAGE 34-B

GENERAL NOTES

1. THE TYPE, DIMENSIONS, MOUNTING HARDWARE, AND POSITIONS OF ALL PROJECT OWNER'S EQUIPMENT ARE SHOWN IN ILLUSTRATIVE FASHION. THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. ACTUAL HARDWARE DETAILS AND FINAL LOCATIONS MAY DIFFER SLIGHTLY FROM WHAT IS SHOWN.
2. THE PROJECT OWNER'S PCS FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
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11. PLOT PLAN MEASUREMENTS ARE APPROXIMATE AND BASED ON SCALED ASSESSORS MAPS AND OTHER
12. ALL SETBACKS SHOWN FROM PROPOSED EQUIPMENT TO PROPERTY LINES ARE APPROXIMATE AND SHOULD BE USED

T-MOBILE NORTHEAST LLC
 A DELAWARE LIMITED
 LIABILITY COMPANY
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893



SITE SPECIFIC NOTES

1. SITE SURVEY HAS NOT BEEN CONDUCTED BY HUDSON DESIGN GROUP LLC FOR THIS PROJECT. ALL SETBACKS SHOWN ON THIS PLAN IS BASED ON SURVEY PLAN (SHEET C-1) BY HUNTLEY ASSOCIATES INC. DATED: 08/21/09 & TOWN OF WESTFORD, MA GIS DATABASE.

ZONING INFORMATION

DIMENSION REQUIREMENTS:	REQUIRED	PROPOSED±
TOWER SETBACK:		
MAX HEIGHT:	*100'	153'
FRONT YARD SETBACK:	153'	453'±
SIDE YARD SETBACK:	153'	153'± & 396'±
REAR YARD SETBACK:	153'	422'±
EQUIPMENT SETBACK:		
FRONT YARD SETBACK:	50'	444'±
SIDE YARD SETBACK:	15'	134'± & 405'±
REAR YARD SETBACK:	30'	417'±

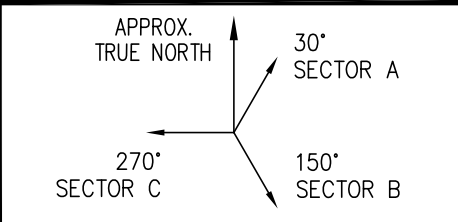
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APPLICANT:	T-MOBILE NORTHEAST LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766
OWNER:	RICHARD G. & MARIA GAMESTER 22 GRIFFIN ROAD WESTFORD, MA 01886
ZONING DISTRICT:	RESIDENCE A
JURISDICTION:	TOWN OF WESTFORD MIDDLESEX COUNTY
ASSESSOR'S ID:	MAP: 13 LOT: 17

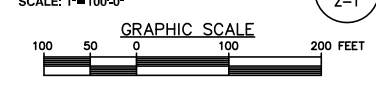
LEGEND

- PROPERTY LINE -- SUBJECT PARCEL
- PROPERTY LINE -- ABUTTERS
- - - ZONING DISTRICT BOUNDARY
- ~ ~ ~ EXISTING TREE LINE
- PROPOSED EASEMENT
- PROPOSED LEASE AREA
- UNDERGROUND UTILITIES
- OVERHEAD UTILITIES
- CHAIN LINK FENCE
- 300' RADIUS (DWELLING)
- 612' RADIUS (4X-TOWER HEIGHT)

ANTENNA ORIENTATION KEY



SITE PLAN



APPROVALS

LANDLORD _____
 LEASING _____
 R.F. _____
 ZONING _____
 CONSTRUCTION _____
 A/E _____

PROJECT NO: 4BN-1331B

DRAWN BY: JG

CHECKED BY: DC

SUBMITTALS

2	03/15/11	ZONING REVISED
1	01/07/10	ZONING REVISED
0	08/21/09	ZONING

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4BN-1331B
 WESTFORD RIDING
 ACADEMY
 22 GRIFFIN ROAD
 WESTFORD, MA 01886

SHEET TITLE

SITE PLAN & NOTES

SHEET NUMBER

Z-1

GENERAL NOTES

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LIABILITY COMPANY

15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893



APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: 4BN-1331B

DRAWN BY: JG

CHECKED BY: DC

SUBMITTALS

2	03/15/11	ZONING REVISED
1	01/07/10	ZONING REVISED
0	08/21/09	ZONING

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4BN-1331B
WESTFORD RIDING
ACADEMY
22 GRIFFIN ROAD
WESTFORD, MA 01886

SHEET TITLE

SITE PLAN & NOTES
ALTERNATE COMPOUND
LOCATION

SHEET NUMBER

Z-1a

SITE SPECIFIC NOTES

1. SITE SURVEY HAS NOT BEEN CONDUCTED BY HUDSON DESIGN GROUP LLC FOR THIS PROJECT. ALL SETBACKS SHOWN ON THIS PLAN IS BASED ON SURVEY PLAN (SHEET C-1) BY HUNTLEY ASSOCIATES INC. DATED: 08/21/09 & TOWN OF WESTFORD, MA GIS DATABASE.

ZONING INFORMATION

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TOWER SETBACK:		
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T-MOBILE NORTHEAST LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02766

RICHARD G. & MARIA GAMESTER
22 GRIFFIN ROAD
WESTFORD, MA 01886

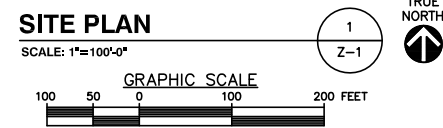
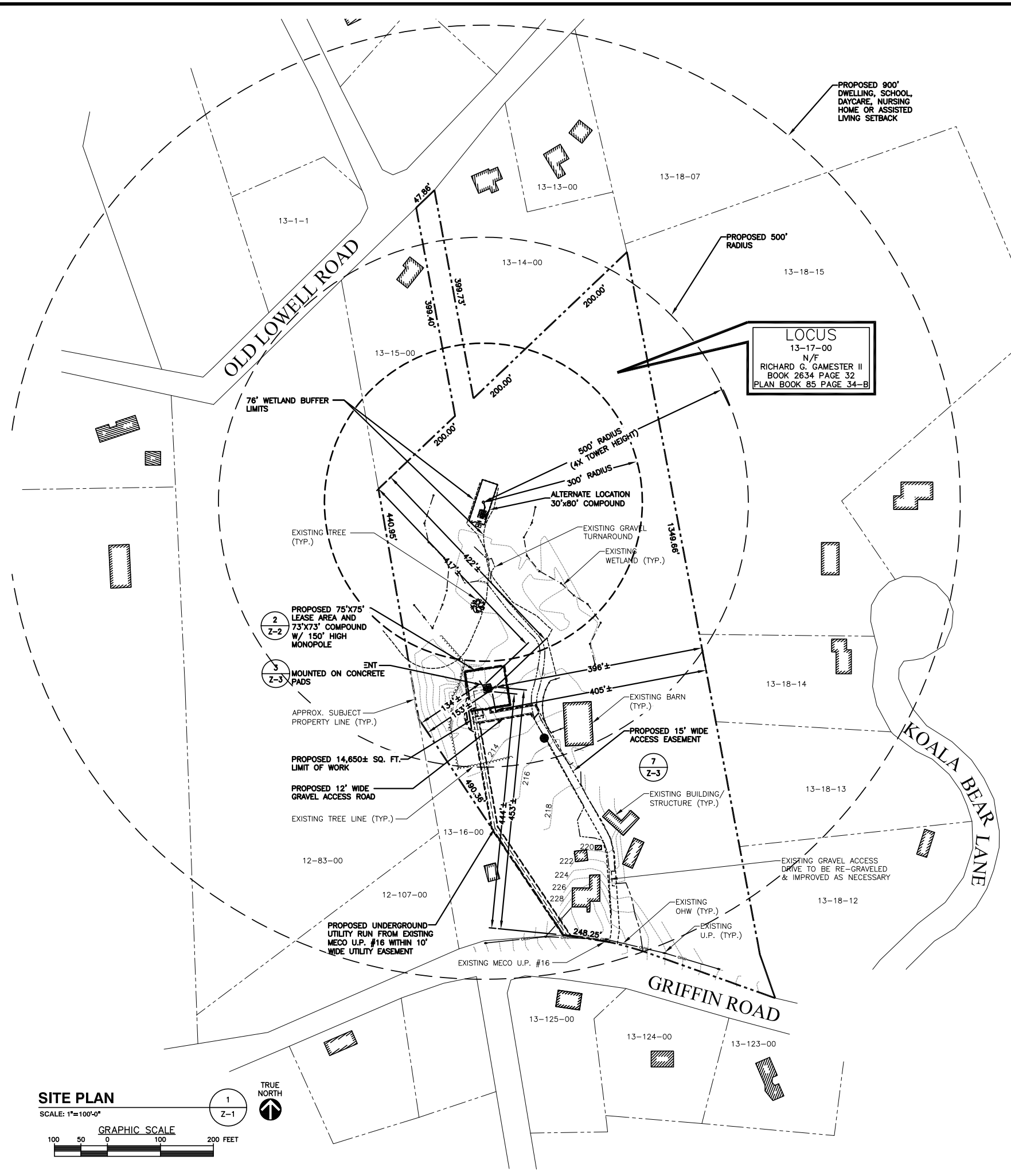
RESIDENCE A
TOWN OF WESTFORD
MIDDLESEX COUNTY

MAP: 13 LOT: 17

	UNDERGROUND UTILITIES
	300' RADIUS (DWELLING)
	612' RADIUS (4X-TOWER HEIGHT)

ANTENNA ORIENTATION KEY

APPRG TRUE NORTH	30° SECTOR A
270° SECTOR C	150° SECTOR B



T-MOBILE NORTHEAST LLC
A DELAWARE LIMITED
LIABILITY COMPANY

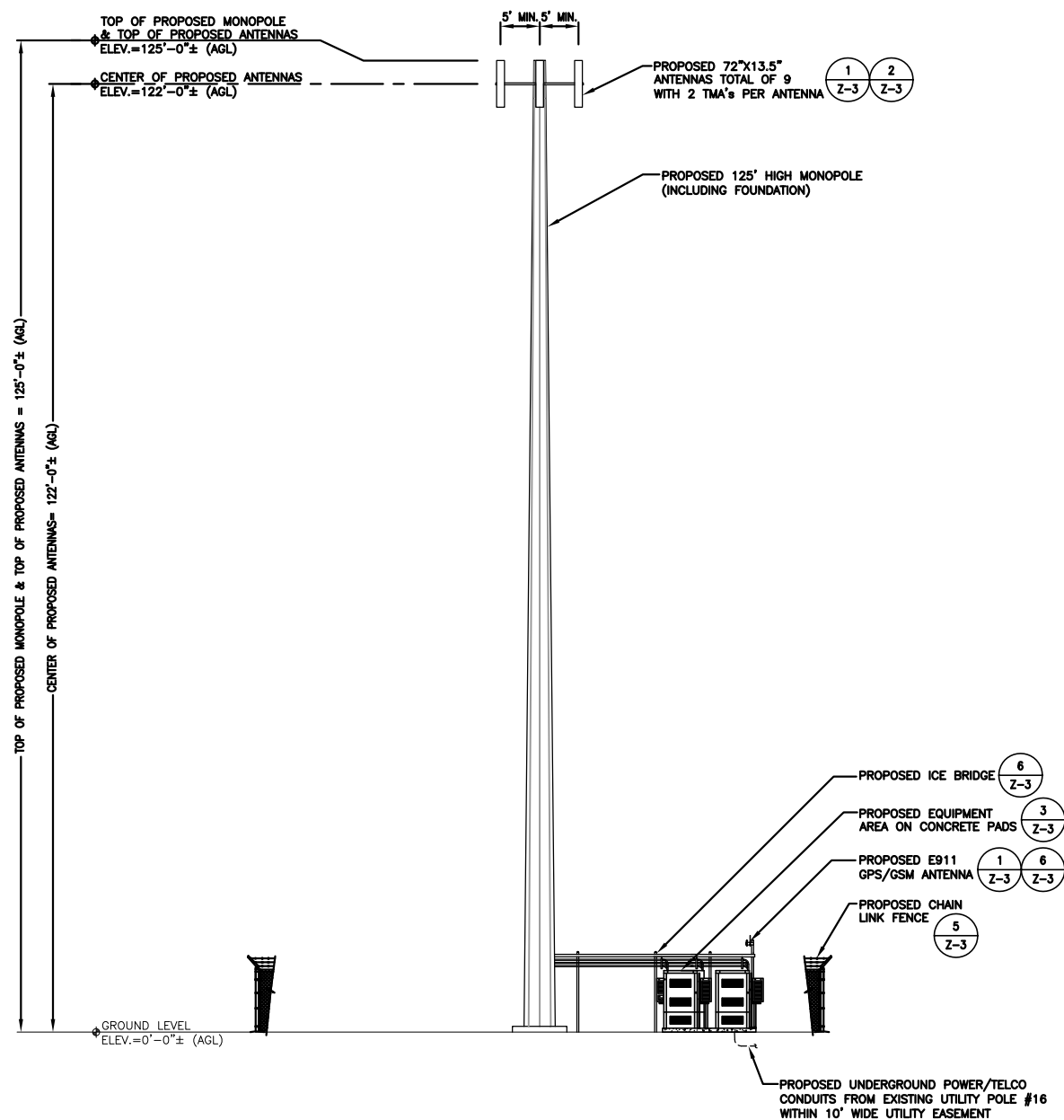
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
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FAX: (508) 286-2893

Hudson
Design Group, Inc.

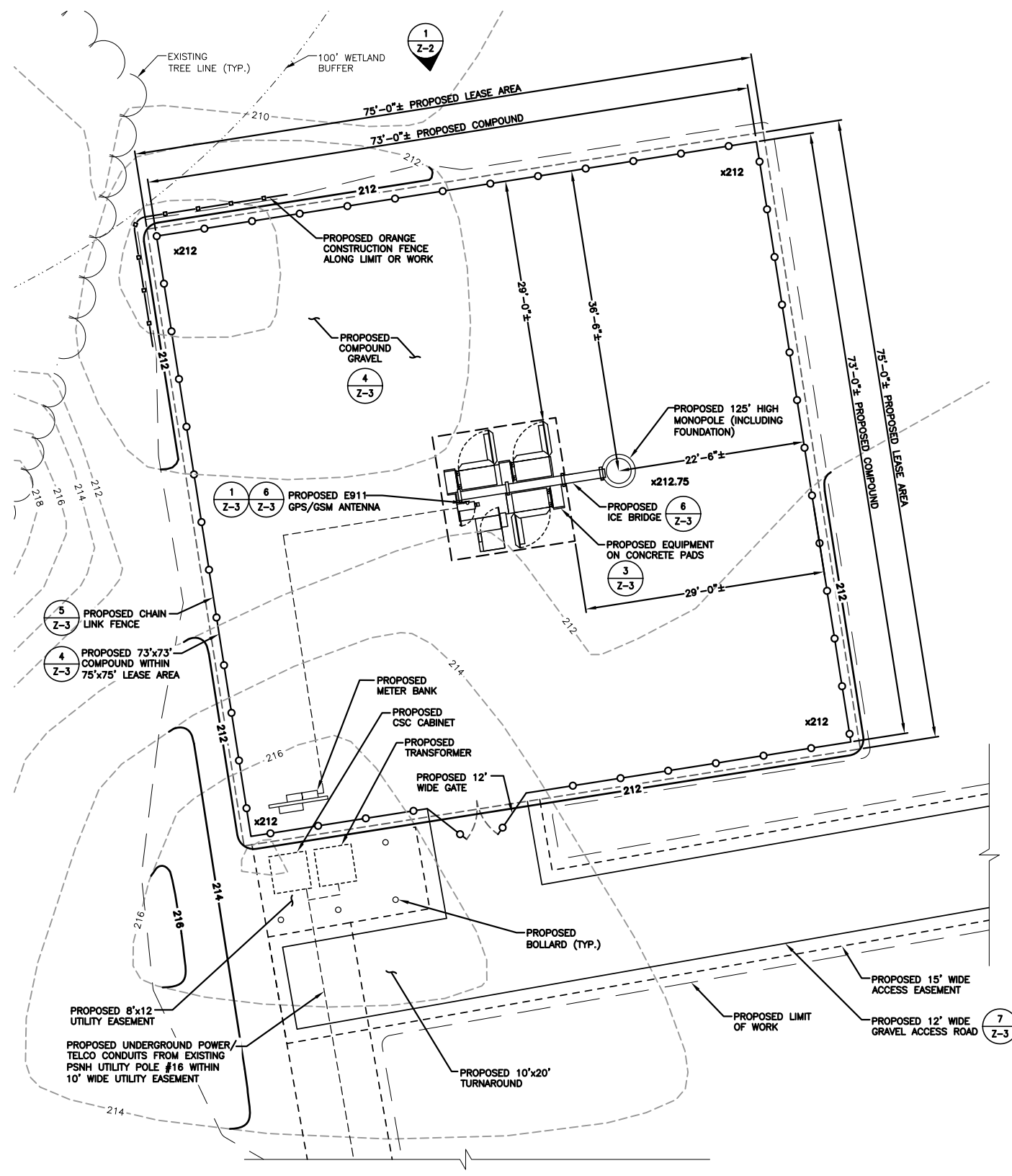
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845

TEL: (978) 557-5553
FAX: (978) 336-5586

NOTE:
PROPOSED MONOPOLE & ANTENNAS
TO BE PAINTED PER PLANNING
BOARD RECOMMENDATIONS



SOUTH ELEVATION 1
SCALE: 3/32" = 1'-0"
GRAPHIC SCALE
0 5'-4" 10'-8" 21'-4" 32 FEET



EQUIPMENT COMPOUND PLAN 2
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE
0 4'-0" 8'-0" 16'-0" 24 FEET
TRUE NORTH

APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: 4BN-1331B

DRAWN BY: JG

CHECKED BY: DC

SUBMITTALS

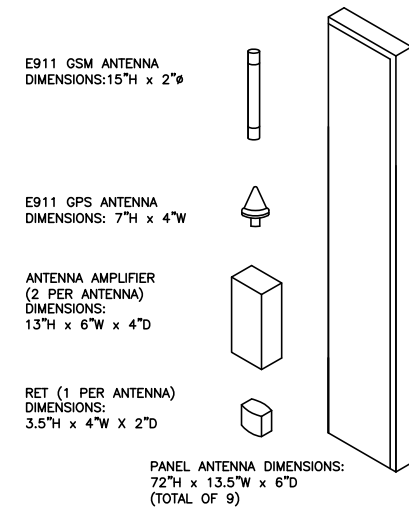
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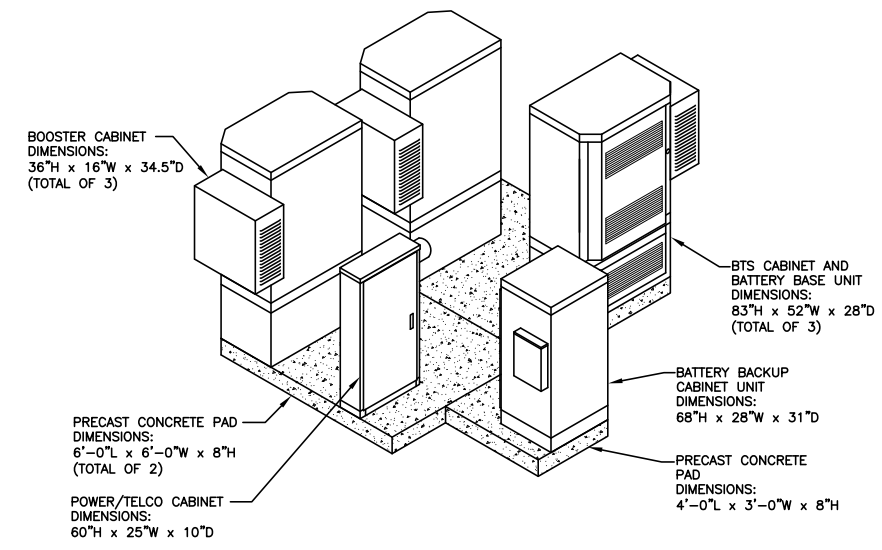
4BN-1331B
WESTFORD RIDING
ACADEMY
22 GRIFFIN ROAD
WESTFORD, MA 01886

SHEET TITLE
PLAN & ELEVATION

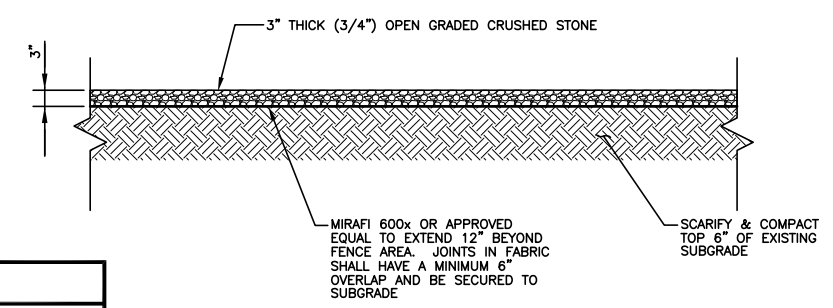
SHEET NUMBER
Z-2



ANTENNA DETAIL
SCALE: NTS



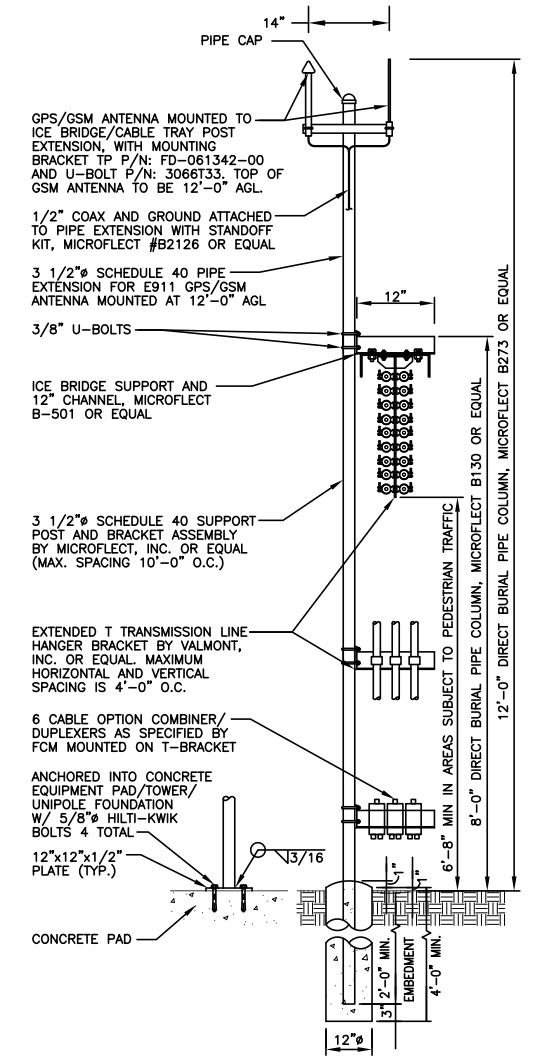
**BTS EQUIPMENT
CABINET DETAILS**
SCALE: NTS



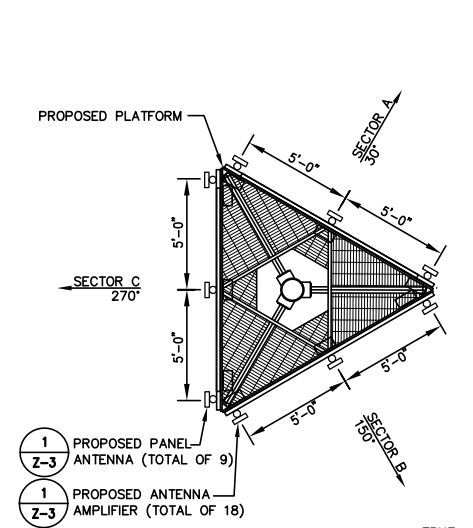
GRAVEL COMPOUND DETAIL
SCALE: NTS

FENCE NOTES

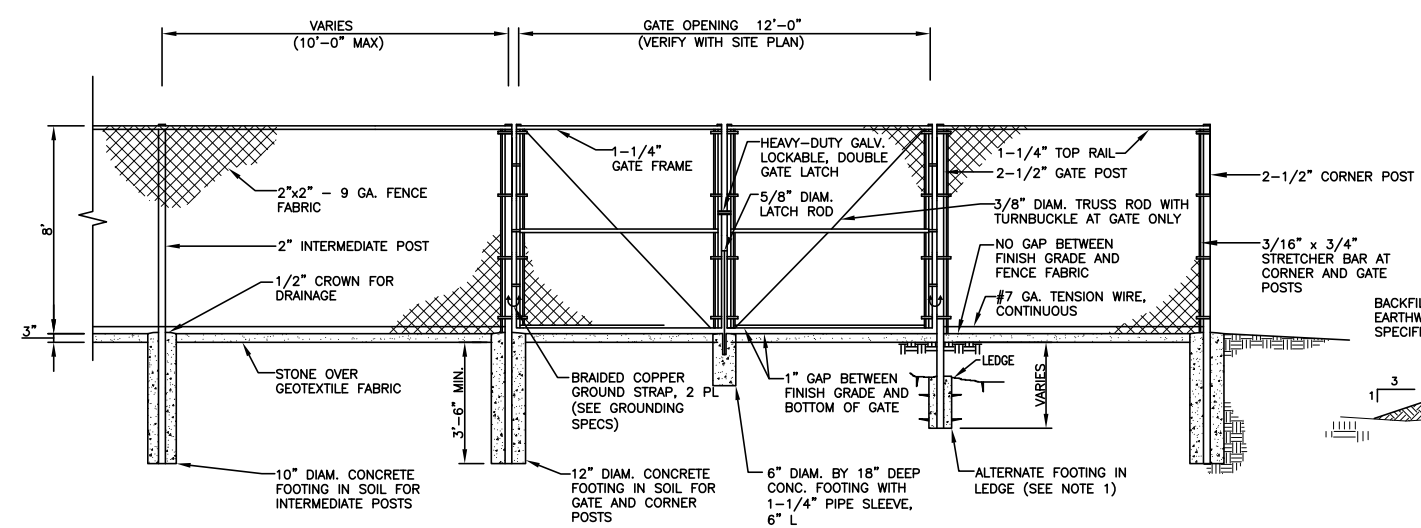
- ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN LEDGE: IF LEDGE IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE LEDGE. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
- ATTACH EACH GATE WITH 1-1/2" PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.



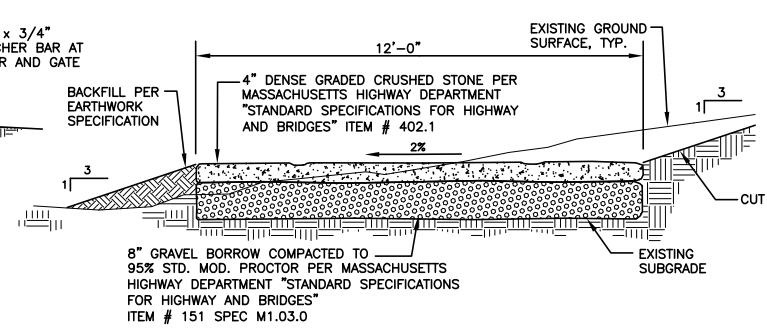
**SECTION AT ICE
BRIDGE/CABLE TRAY**
SCALE: NTS



ANTENNA PLAN
SCALE: NTS



CHAIN LINK FENCE DETAIL
SCALE: NTS



GRAVEL DRIVE DETAIL
SCALE: NTS

APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A/E _____

PROJECT NO: 4BN-1331B

DRAWN BY: JG

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SUBMITTALS

NO.	DATE	REVISION
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0	08/21/09	ZONING

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4BN-1331B
WESTFORD RIDING
ACADEMY
22 GRIFFIN ROAD
WESTFORD, MA 01886

SHEET TITLE
DETAILS

SHEET NUMBER
Z-3